### **GENERAL NOTES**

1. CONTRACTOR TO CHECK & VERIFY ALL NOTES, DIMENSIONS, DETAILS & SITE CONDITIONS & SHALL BE HELD LIABLE FOR SAME UNLESS OTHERWISE NOTED. CONTRACTOR SHALL INITIATE PROBES TO DETERMINE SAID CONDITIONS & SHALL BRING ANY & ALL DISCREPANCIES TO THE ADDITION OF THE ARCHITECT PRIOR TO INITIATING ANY WORK.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & FOR ALL FEES; SAID FEES SHALL BE REIMBURSABLE BY THE OWNER. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL PRESENT THE OWNER WITH A CERTIFICATE OF OCCUPANCY.

3. THE CONTRACTOR AND SUB CONTRACTORS SHALL VERIFY THE LOCATION OF ALL EXISTING HEATING DRAINAGE, ELECTRICAL & TELEPHONE EQUIPMENT, UNDERGROUND UTILITIES ETC. WITH THE PROPOSED WORK, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE BUILDINGS AND WILL BE RESPONSIBLE FOR JOINING OF WORK OF ALL TRADES.

4. CONTRACTORS SHALL PROVIDE ALL SHORING, BRACING, BARRICADES, TEMPORARY FENCES, PARTITIONS, AND EXCAVATION, ETC. TO ACCOMPLISH ALL OF THE WORK IN AN APPROPRIATE MANNER.

5. DRAWINGS SHALL BE SCALED, DIMENSION ARE TO BE USED. WHERE DISCREPANCIES ARE FOUND VERIFY WITH OWNER/ ARCHITECT.

6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE NEW JERSEY STATE BUILDING CODE IRC.

7. THESE DRAWINGS ARE TO BE USED ONLY FOR THIS PROJECT AND MAY NOT BE USED IN PART OR WHOLE ON ANY OTHER PROJECT, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE ARCHITECT.

8, THE G.C. SHALL UPON COMPLETION OF THE DAY'S WORK SEE THAT THE JOB IS BROOM SWEPT.

9. THE ARCHITECT/ ENGINEER HAS NOT BEEN RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT.

10. CONTRACTOR SHALL PROVIDE FOR REINSTALLING AN/ REROUTING ANY EXISTING ELEMENTS, COVERED OR REMOVED BY HIS WORK, WHETHER INDICATED ON DRAWINGS OR NOT. THIS SHALL INCLUDE, BUT BE NOT LIMITED TO: GUTTERS AND LEADERS, FRESH AIR VENTS, PLUMBING & HEATING, ETC.

11. ALL DEMOLITION SHALL BE UNDERTAKEN WITH EXTREME CARE SO AS NOT TO DISTURB EXISTING STRUCTURAL ELEMENTS( COLUMNS, BEARING WALLS ETC.) THE G.C. IS RESPONSIBLE FOR ALL CUT AND PATCH, WHETHER DIRECTLY OR INDIRECTLY RELATED TO HIS WORK.

12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISIONS OF ADEQUATE PROTECTION FOR AREAS EXPOSED TO THE WEATHER.

13. ALL DAY-DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF REGULARLY, AND AT THE EXPENSE OF THE GENERAL CONTRACTOR.

14. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE TREATED PER CURRENT CODES &

15. RAFTER HEEL CUTS SHALL NOT EXCEED 4" WHERE JOIST ARE NOTCHED TO HEADERS, SO AS TO REDUCE BEAM DEPTH, USE BRIDLE IRONS OR METAL CONNECTORS.

16. SUB FLOOR SHALL BE 3/4" CDX PLYWOOD, FIN. FLOORING SHALL BE AS INDICATED ON PLANS OR AS SPECIFIED BY OWNER.

17. ALL WALL SHEATHING TO BE 1/2" CDX PLYWOOD & COVERED WITH TYVEK & FINISHED MATERIALS TO

18. SHEET ROCK WALLS AND CEILINGS TO BE US GYPSUM 1/2" TYPE "X" FIRE RATED WITH ALL JOIST TAPED

AND SPACKLED UNLESS OTHERWISE NOTED. CEILING TO BE 1/2" GYP. BD. AND FASTENING TO BEAM BY SHEET ROCK SCREWS.

19. ALL WINDOWS TO BE ANDERSEN OR APPROVED EQUAL AS SELECTED BY OWNER.

BE CONFIRMED W/ OWNER. ALL ROOF SHEATHING TO BE 5/8" CDX PLYWOOD

20. ALL GLASS IN DOORS, FIXED GLASS ADJACENT TO OPENINGS AND GLASS TO WITHIN 18" OF FLOOR LEVEL SHALL BE SAFETY GLASS.

21. THE CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY AND ALL LIABILITIES ARISING FROM THE CONSTRUCTION THE WORK AND ANY MEANS AND METHODS USED.

22. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATION OF THE WORK OF ALL TRADES, THE SEQUENCING OF ALL CONSTRUCTION AND THE MEANS AND METHODS REQUIRED BY THE

23. CONTRACTOR TO PROVIDE SHOP DRAWINGS & CATALOG CUTS AS REQ. BY OWNER.

# DOORS / WINDOWS & HARDWARE

1. ALL INTERIOR DOOR SHALL BE MADE OF WOOD AND WHERE POSSIBLE, MATCH EXISTING AS SPECIFIED HEREIN AND AS APPROVED BY ARCHITECT/ OWNER IN WRITING.

2. ALL WINDOWS TO BE AS SPECIFIED ON WINDOWS SCHEDULE SHEET. CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL MANUFACTURES GUIDELINES, DETAILS AND RECOMMENDATIONS FOR PROPER INSTALLATION.

3. ALL EXTERIOR WINDOW SAND DOORS OPENINGS SHALL RECEIVE (2) 2" X 10", HEADERS NAILED TOGETHER BY d10 NAILS, STAGGERED @ 16" O.C. RESTING ON 4" X 4" OR ((2) 2 x 4 WOOD POSTS ) UNLESS OTHERWISE NOTED ON PLANS.

4. INTERIOR WINDOWS AND DOORS SHALL RECEIVE (2) 2" X 8" WD. HEADERS RESTING ON 4" X 4" WOOD POSTS. UNLESS OTHERWISE NOTED ON PLANS.

5. ALL WINDOWS & DOOR HARDWARE SHALL MATCH EXISTING IN STYLE AND COLOR. (UNLESS OTHERWISE NOTED.)

## **ELECTRICAL, MECHANICAL & PLUMBING NOTES**

1. ALL ELECTRIC WORK TO COMPLY WITH THE IBC CODE

2. THIS CONTRACTOR IS TO EXPECTED TO BE AN EXPERT IN HIS FIELD. AND SHALL MAKE PROVISIONS FOR ALL ELECTRICAL WORK, INCLUDING SWITCHING, POWER REQUIREMENTS. HEATING & VENTING AND AIR- CONDITIONING WIRING ETC. SO AS TO MAKE THE PREMISES OPERATIONAL FOR THE OWNER, AND MEET ALL PROVISIONS OF PREVAILING ELECTRICAL CODES AND THE REQUIREMENTS OF THE NJ BOARD OF FIRE UNDERWRITERS.

3. PLUMBING INSTALLATION TO COMPLY WITH STATE AND LOCAL CODES 2015 AND THE SEWAGE DISPOSAL SYSTEM, TO MEET HEALTH DEPARTMENT STANDARDS. WHERE APPLICABLE, ALIGN AND REUSE EXISTING WASTE AND WATER SUPPLY LINES.

4. ALL (HVAC) WORK SYSTEMS SHALL COMPLY WITH THE IBC MECHANICAL CODES. MECHANICAL CONTRACTOR SHALL SIZE ALL (AC) & HEATING UNITS PRIOR TO INSTALLATION REVIEW WITH THE ARCHITECT / OWNER

### WOOD FRAMING NOTES

1. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR OR HEM FIR. CONSTRUCTION GRADE NO. 2.F = 1.450 PSI. UNLESS OTHERWISE NOTED ON PLANS.

2. ALL WOOD JOISTS AND GIRDERS TO HAVE MINIMUM 4" BEARING.

3. ALL WOOD JOISTS IN FLOORS AND ROOF TO BE BRACED A MAX. 8'-0" O.C.

4. WOOD HEADERS AND TRIMMERS SHALL BE MIN. 2" AWAY FROM FACE OF

5. STUD BEARING PARTITIONS AND ALL EXTERIOR PARTITIONS TO BE 2"X 4" STUD @ 16" O.C. WITH 2" X 4" BOTTOM AND DBL TOP PLATES, PROVIDE 4" X 6" CORNER POST AND 1" X 6" DIAGONAL BRACING (2@ EACH CORNER) UNLESS OTHERWISE NOTED ON THE PLANS.

6. PROVIDE DOUBLE FRAMING AROUND THE STAIR WELL AND UNDER ALL STUD BEARING PARTITIONS PARALLEL WITH FLOOR JOIST, EXCEPT APPROVED HANGERS.

7. ALL ROOFS TO BE PITCHED PER DRAWINGS COVERED WITH 5/8 " CDX PLYWOOD AND MIN. 15 LB. FELT PAPER. WITH MINIMUM 4" OVERLAP (UNLESS OTHERWISE NOTED ON PLANS)

8. ALL FLOORS TO BE COVERED WITH 3/4 "T&G PLYWOOD. FINISH FLOORING TO BE AS INDICATED ON PLANS.

9. ALL EXTERIOR POSTS, BEAMS, GIRDERS, ETC. SHALL BE PRESSURE TREATED.

11. WHERE RAFTERS OR JOIST FRAME INTO OTHER WOOD BEAMS, PROVIDE "TECO" OR EQUAL U-GRIP 18 GAUGE GALVANIZED STEEL JOISTS AND BEAM

12. PROVIDE SOLID BLOCKING UNDER ALL WOOD POSTS IN ORDER TO PROPERLY TRANSMIT ALL LOADING DOWN TO FOUNDATION AN/ OR GIRDERS.

# **MASONRY NOTES**

1. ALL MASONRY WALLS TO BE LAID UP IN "S" TYPE MORTAR. MORTAR JOINTS ARE TO BE FULL. ALL MASONRY UNITS ARE TO CONFORM TO THE SPECIFICATIONS OF ASTM C-145. MASONRY FOUNDATION WALLS TO HAVE 1/2" DIAMETER (18" LONG) FOUNDATION BOLTS WITH NUT AND WASHER 8'-0" O.C. AND 1'-0" FROM EACH CORNER. THE TOP COURSE OF MASONRY SHALL BE FILLED WITH CONCRETE.

2. CONCRETE BLOCK WALL TO HAVE A CONTINUOUS TRUSS REINFORCEMENT (DURO-O-WALL) EVERY OTHER COURSE.

3. ALL BRICK SHALL BE STRUCTURAL CLAY BRICK GRADE SW. EXTERIOR BRICK VENEER WALLS TO HAVE NON-CORROSIVE METAL BRICK TIES AT 24" O.C. MAX.

4. ALL BEAM BEARING POCKETS SHALL BE FILLED SOLID WITH CONCRETE. MINIM, BEARING TO BE 4".

5. BACK FILL SHALL NOT BE PLACED AGAINST CONCRETE BLOCK FOUNDATION WALLS UNTIL WALL'S CAN SAFELY SUPPORT BACKFIELD AND ALL FIRST FLOOR FRAMING IS IN PLACE.

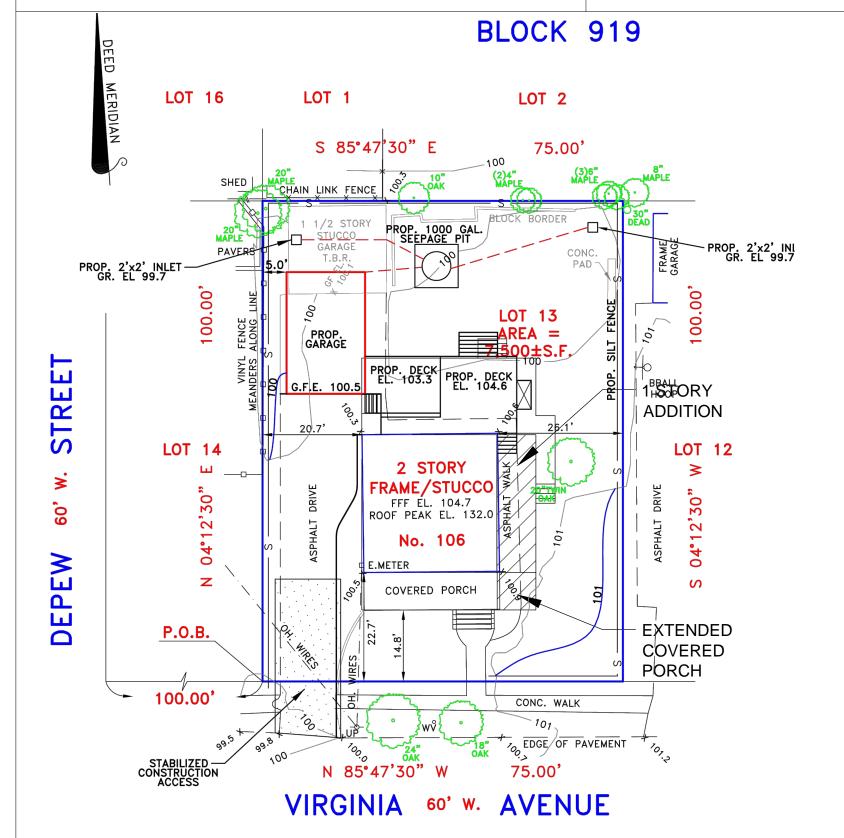
6. CONTRACTOR IS TO COORDINATE TOP OF CONCRETE BLOCK FOUNDATION WALL WITH FLOOR FRAMING, ARCHITECTURAL REQUIREMENTS AND FINISHED GRADE.

CODES	
<b>ENERGY CODE</b>	NJ REHAB
<b>BUILDING CODE</b>	IBC 2018
<b>BUILDING CODE</b>	IRC 2018
PLUMBING CODE	NSP 2018
ELECTRICAL CODE	NEC 2017
MECHANICAL CODE	IMC 2018
<b>ENERGY CODE</b>	IECC 2018

PROJECT DATA			
SINGLE FAMILY RESIDENCE			
APPLICANT:			
LOCATION: 106 VIRGINIA AVE			
BLOCK	919		
LOT	13		
USE GROUP	RESIDENTIAL R-5		
FORMER USE GROUP	RESIDENTIAL R-5		
BUILDING FOOT PRINT	1042.15 S.F.		
CONSTRUCTION TYPE	$\overline{V}$ B		
PROPOSED ADDITION	1 STORY ADDITION		

ZONING ANALYSIS				
ZONE: DISTRICT RA 1				
	REQUIRED	EXISTING	PROPOSED	
LOT AREA	7500 S.F.	7500 S.F.	SAME	
FRONTAGE	75'	75'	SAME	
DEPTH	100'	100'	SAME	
LOT SETBACK				
FRONT	25' min	14.8'	SAME	
SIDE - A	5' min	20.7'	SAME	
SIDE - B	10' min	26.1'	17.96'	
TOTAL A / B	15' min	46.8'	38.66'	
REAR	25' min	284.96'	266.38	
LOT. COV.	30% or 2250	808.31	1042.15	
HEIGHT	28 FT	31.1 FT	SAME	

DRAWINGS INDEX	AREA OF ADDITION
A-0 COVER SHEET	
A-1 BASEMENT & FIRST FLOOR PLANS	1 ST FLOOR ADDITION - 233.84 S.F.
A-2 SECOND FLOOR PLAN & SECTION, PLUMBING RISER & DECK DETAILS	TOTAL: 233.85 S.F.
A-3 ELEVATIONS	VOLUME OF ADDITION CALC.
A-4 ELECTRICAL PLANS	1 ST FLOOR - 233.84 x 8.5 = 1987.72 C.F.
	TOTAL VOLUME ADDITION: 1987.72 C.F.



Lantelme, Kurens & Associates, P.C. Engineers & Land Surveyors  101 West Street, P.O. Box 486, Hillsdale, New Jersey 07642 (201) 666-2450				
SCALE: I"=20' DATE: MAY 2, 2019 PARTY: DC PREPARED BY: CJL DRAWN BY: SPM LOT NO. 13	SITE PLAN FOR JEFFREY & SARA LACHENAUER Lot 13 Block 919 106 Virginia Avenue Borough of Dumont, Bergen County, N.J.  PROPERTY SITUATED IN THE BOROUGH OF DUMONT, BERGEN COUNTY, NEW JERSEY.	CERTIFIED TO:		
BLOCK NO. 919 FILE NO. SPIO6VIRGINIA	MAP SOURCE: TAX ASSESSMENT MAP OF THE BOROUGH OF DUMONT, BERGEN COUNTY, NEW JERSEY.	Christopher Lantelme P.E. & L.S. 39580		

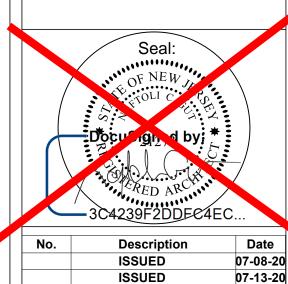
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GUT ARCHITECTURE STUDIO LLC NJ C.O.A. # 21AC00117000 NJ LICENSE # 21A102127300 NY LICENSE # 041823

NAFTOLI GUT, RA 58 CLARIDGE DR. JACKSON, NJ 08527 PHONE: 973 - 883 - 7027

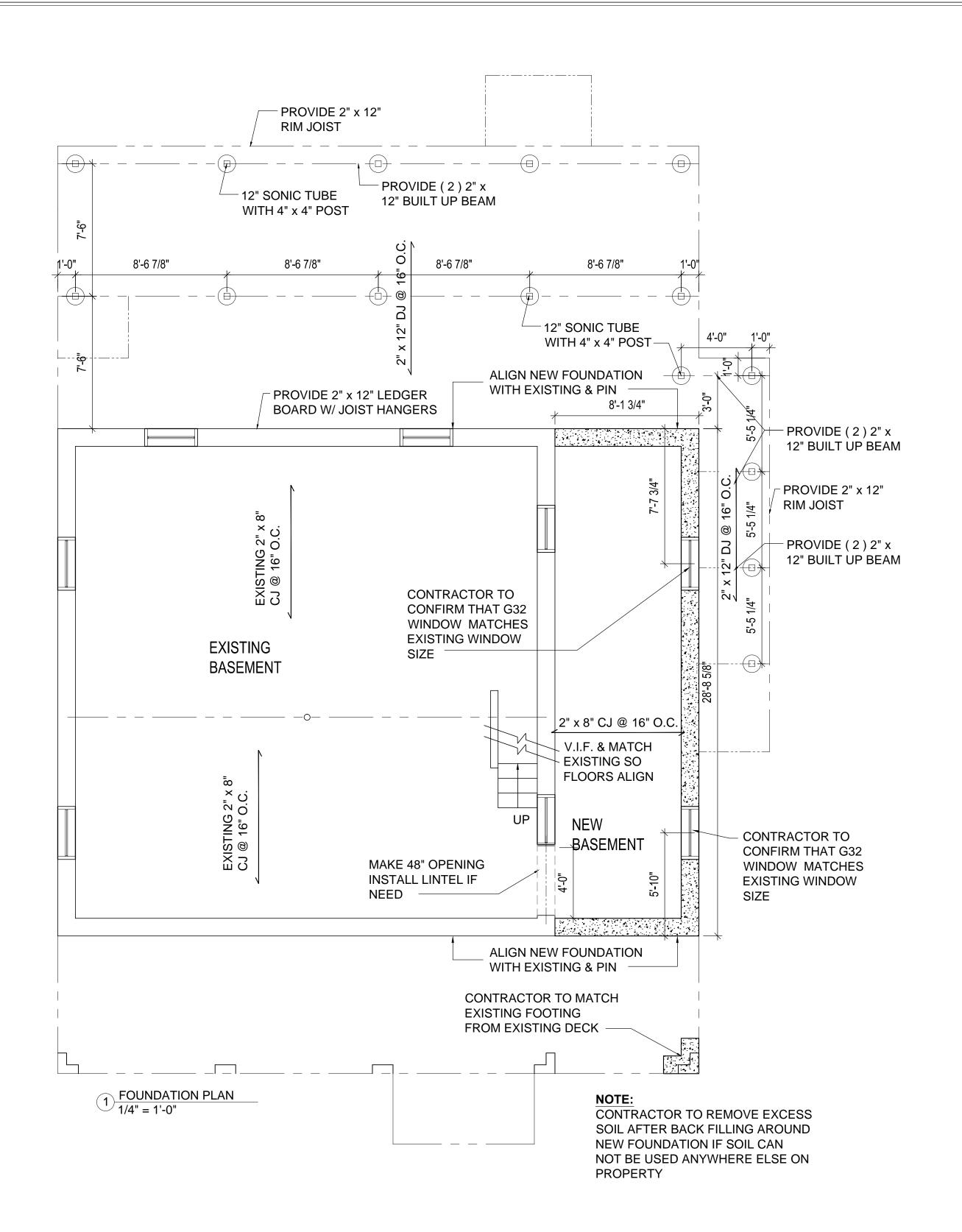
EXL ENGINEERS INC. RAJ EKHALIKAR 1 BLUE HILL PLAZA SUITE 1509 PEARL RIVER, N.Y. 10965 RAJ EKHALIKAR NJ PROFESSIONAL ENGINEER LICENCE # 36498

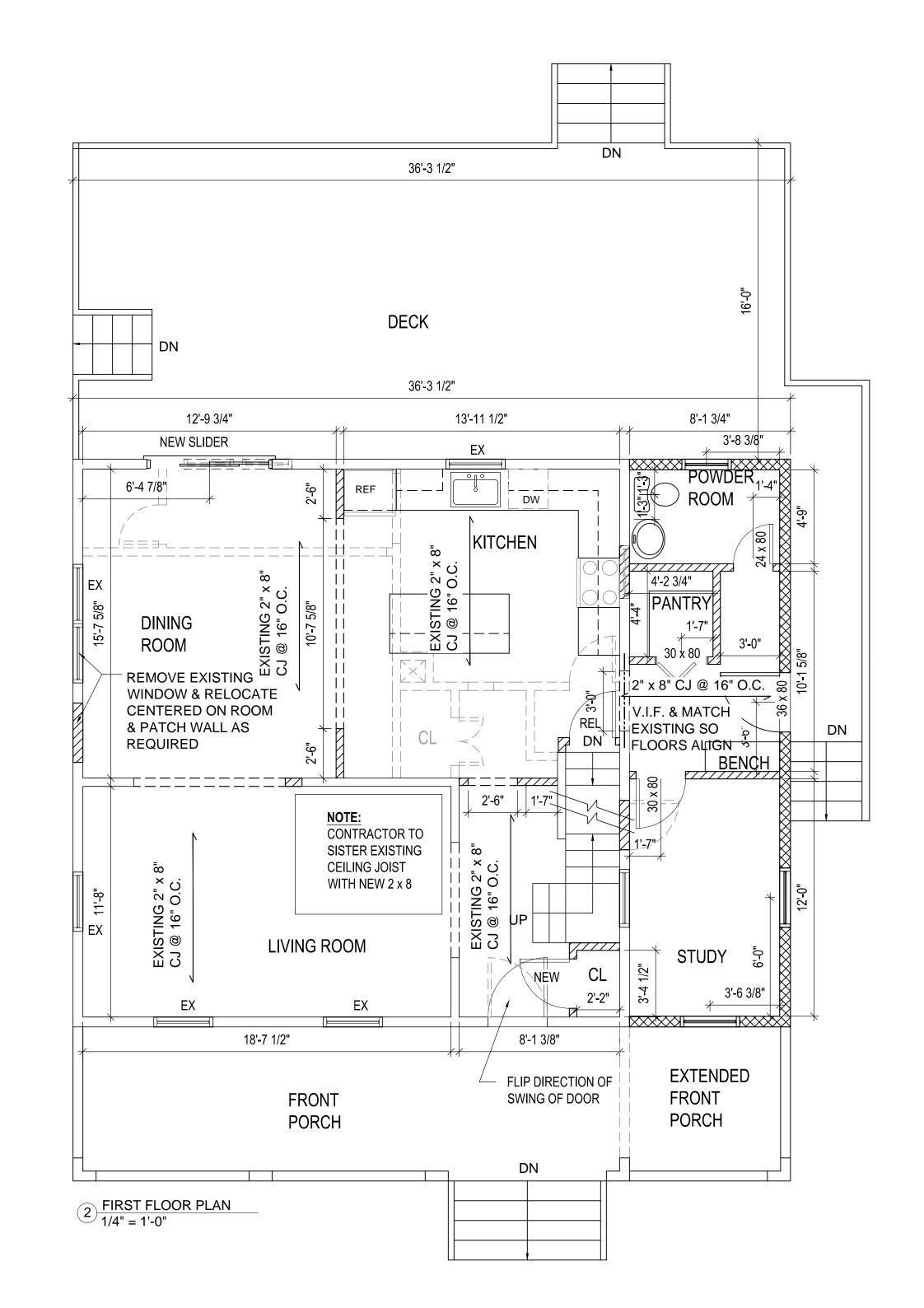


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LEGEND: WALL TO BE REMOVED EXIST'G WALL TO REMAIN NEW 2 X 4 STUD INTERIOR WALLS NEW 2 X 6 STUD EXTERIOR WALLS NEW FOUNDATION WALL SOLID BLOCKING  $\boxtimes$ 

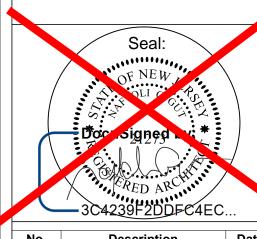
**PLANS** 

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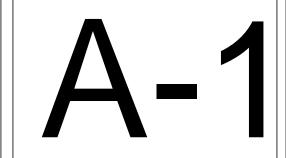


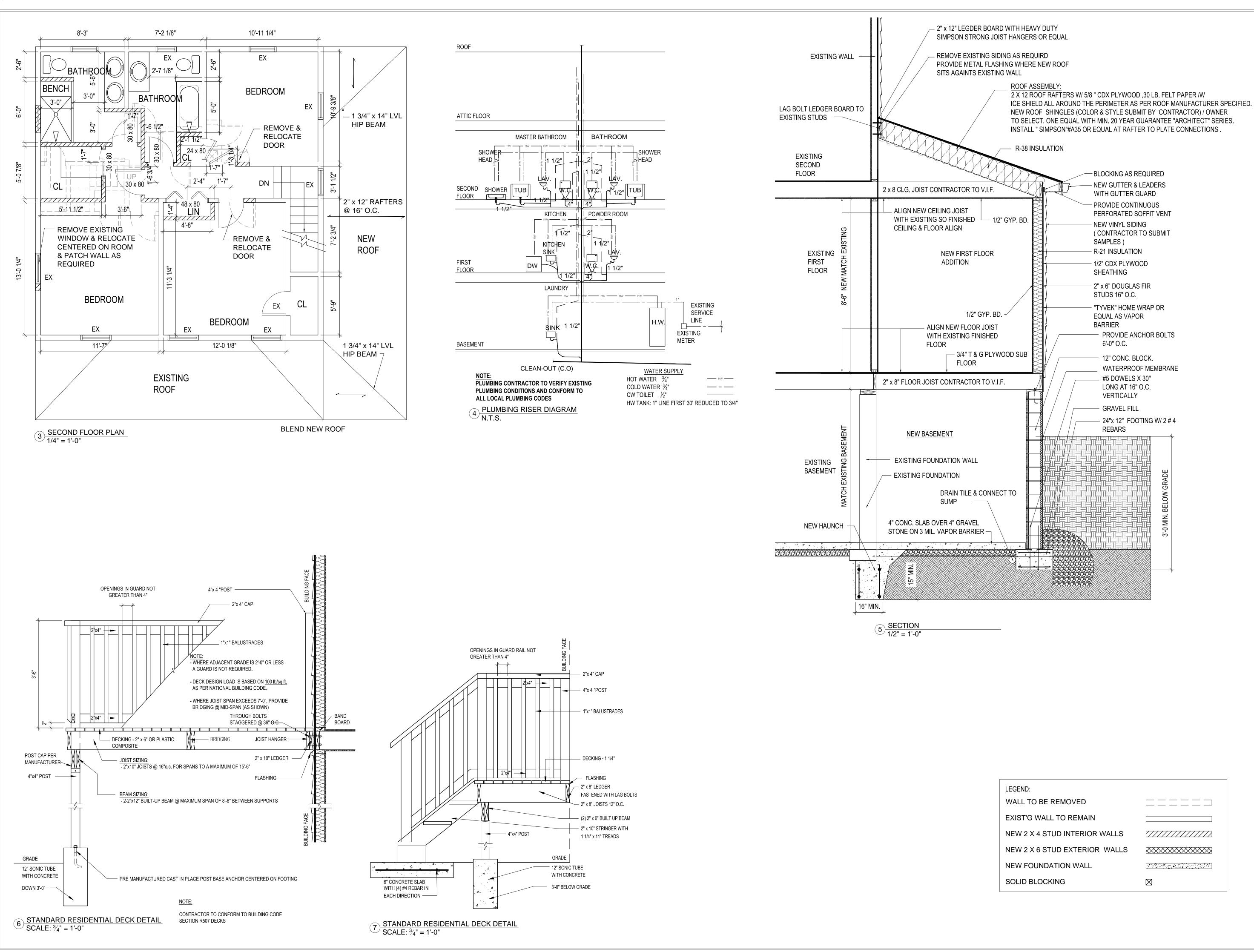
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PLANS 106 VIRGINIA AVE. DUMONT, N.J. 076

GUT ARCHITECTURE STUDIO LLC

NY LICENSE # 041823 NAFTOLI GUT, RA 58 CLARIDGE DR. JACKSON, NJ 08527

PHONE: 973 - 883 - 7027

EXL ENGINEERS INC.

NJ C.O.A. # 21AC00117000

NJ LICENSE # 21A102127300

RAJ EKHALIKAR

1 BLUE HILL PLAZA SUITE 1509
PEARL RIVER, N.Y. 10965
RAJ EKHALIKAR
NJ PROFESSIONAL ENGINEER
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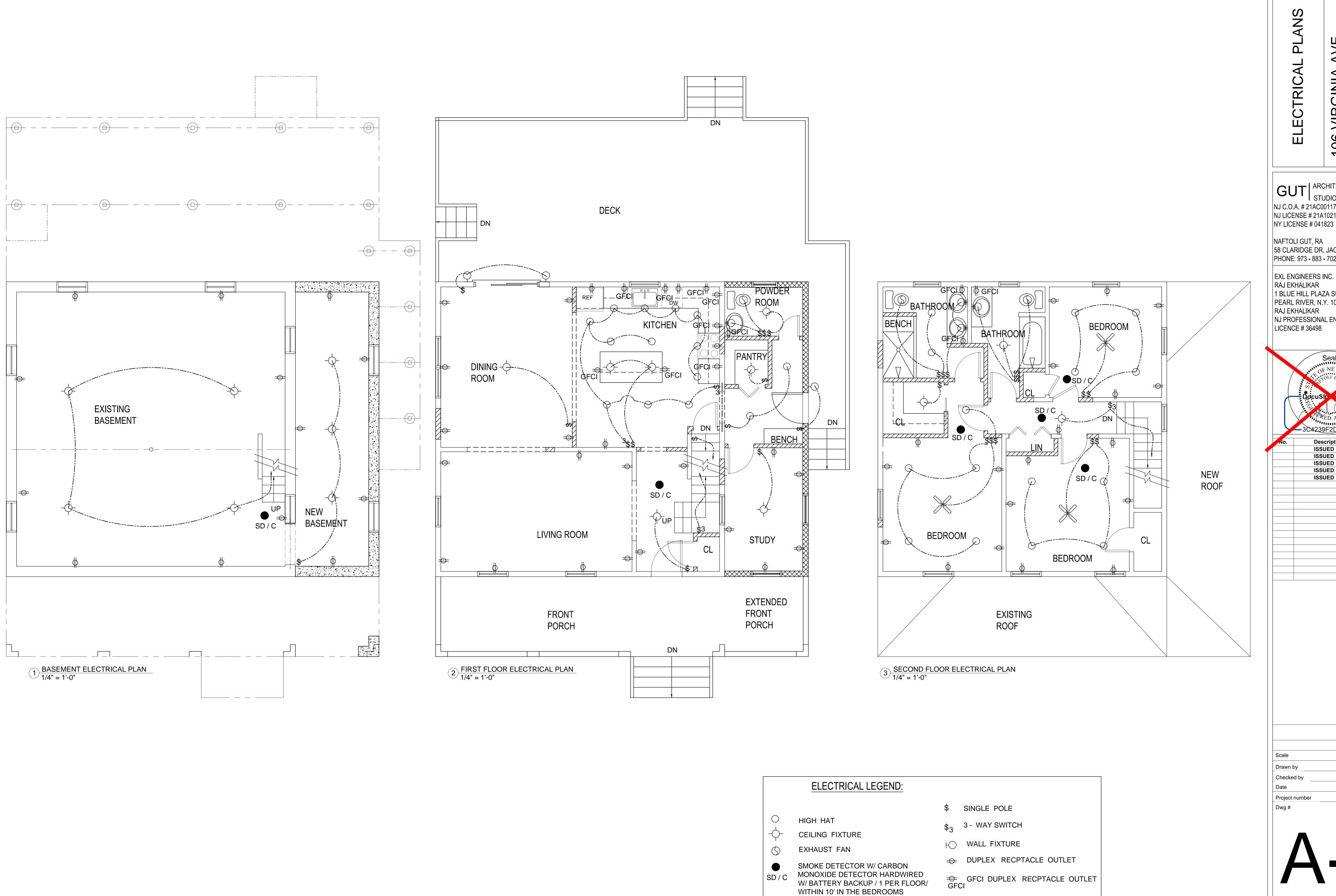
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**ELECTRICAL PLANS** 

106 VIRGINIA / DUMONT, N.J.

GUT | ARCHITECTURE STUDIO LLC NJ C.O.A. # 21AC00117000 NJ LICENSE # 21A102127300

NAFTOLI GUT, RA 58 CLARIDGE DR. JACKSON, NJ 08527 PHONE: 973 - 883 - 7027

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07-08-20 07-13-20 07-14-20 ISSUED ISSUED ISSUED ISSUED 08-07-20 ISSUED

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