

Borough of Dumont Municipal Building Study

2015.04.16

arcari iovino

ARCHITECTS PC

Arcari + Iovino Architects was engaged by the Borough of Dumont to investigate possible solutions for the future municipal building at the existing 50 Washington Avenue Site as well as the recently acquired Farm Site at 546 Washington Avenue. Based on the team's past experience with this building type and data from their 2013 report, 4 options were identified. This document includes aerial images as well as site plans and opinions of cost for each design option. Remington, Vernick and Arango Engineers assisted the Architects with the preparation of costs related to site improvements, hazardous material abatement, exterior building renovation, and miscellaneous renovation items.

Option A: Proposes interior alteration of existing building at 50 Washington and an addition as required to accommodate space needs identified in the 2013 report.

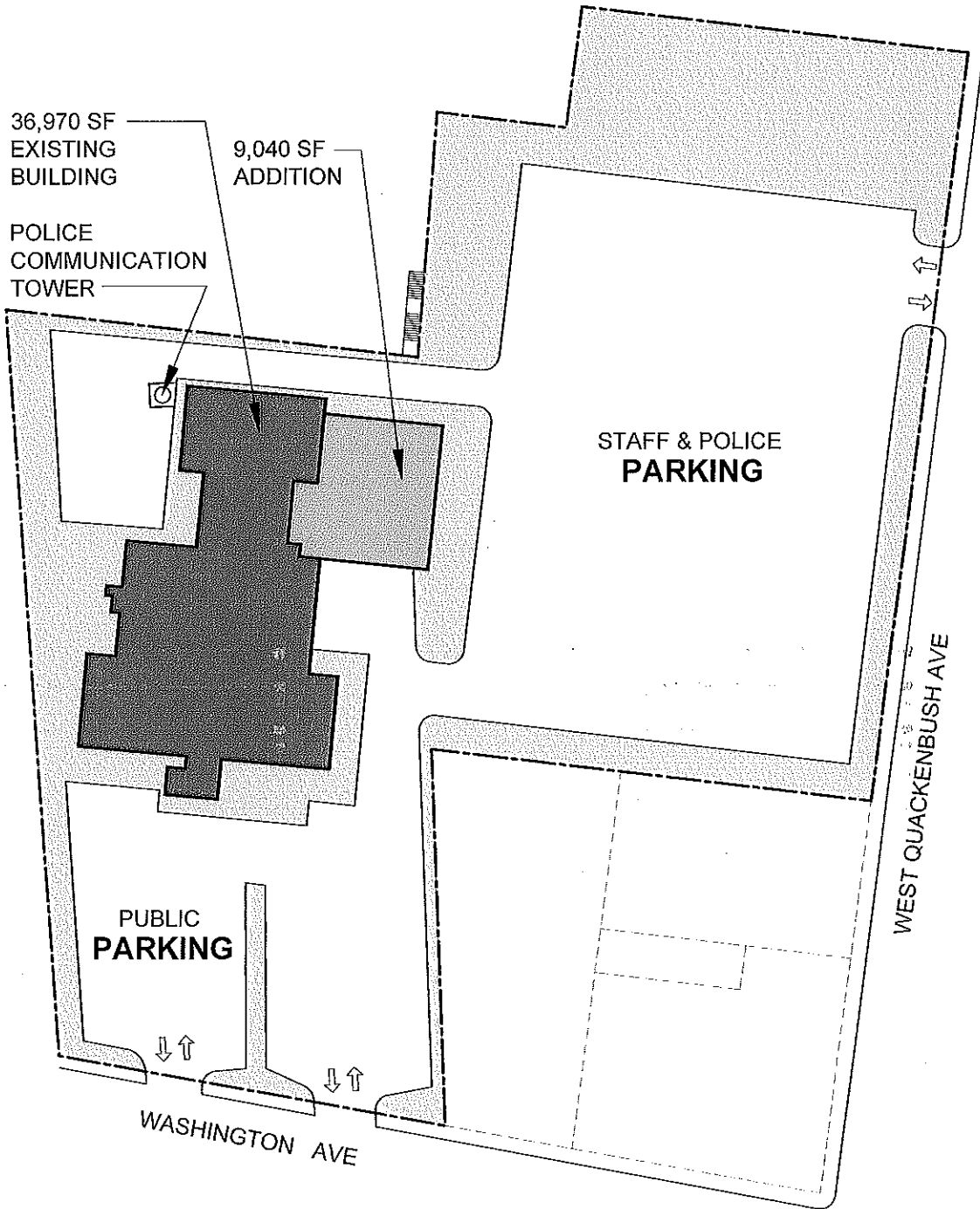
Option B: Proposes removal of the existing building and construction of a new building on the 50 Washington Site to accommodate the needs identified.

Option C: Proposes 2 new buildings in a campus layout at the new Farm Site. One building will house Police, the other will house Administration and Court.

Option D: Proposes a single two-story building at the new Farm Site.



0' 25' 75' 225'
SCALE 1/64"=1'-0"



PARKING COUNT:
± 115 SPACES
(85 STAFF & POLICE, 30 PUBLIC)

Refurbished Building on Existing Site

	Area (SF)	Rate (\$/SF)	Subtotal	Total
Renovation				\$ 4,614,300
(Including Unexcavated Space) Lower Level	9545	\$135	\$ 1,288,575	
Ground Level	9060	\$135	\$ 1,223,100	
Second Floor	9035	\$135	\$ 1,219,725	
Third Floor	6540	\$135	\$ 882,900	
Addition				\$ 2,483,250
(Prisoner Handling) Ground Level	3010	\$295	\$ 887,950	
Second Floor	3010	\$265	\$ 797,650	
Third Floor	3010	\$265	\$ 797,650	
			TOTAL Unique Items	\$ 4,118,782
			TOTAL 'Bricks & Mortar'	\$ 11,216,332

UNIQUE ITEMS

Site Improvements (4)	\$1,186,980
Roof / Misc. Structural (5)	\$ 875,172
Foundation Drainage	\$ 155,880
Utility Service Upgrades	\$ 345,000
Repoint Brick Walls	\$ 384,150
Replace Windows	\$ 471,600
Haz Mat'l Abatement	\$ 475,000
Temp police trailers	\$ 225,000
Total	\$4,118,782

SOFT COSTS

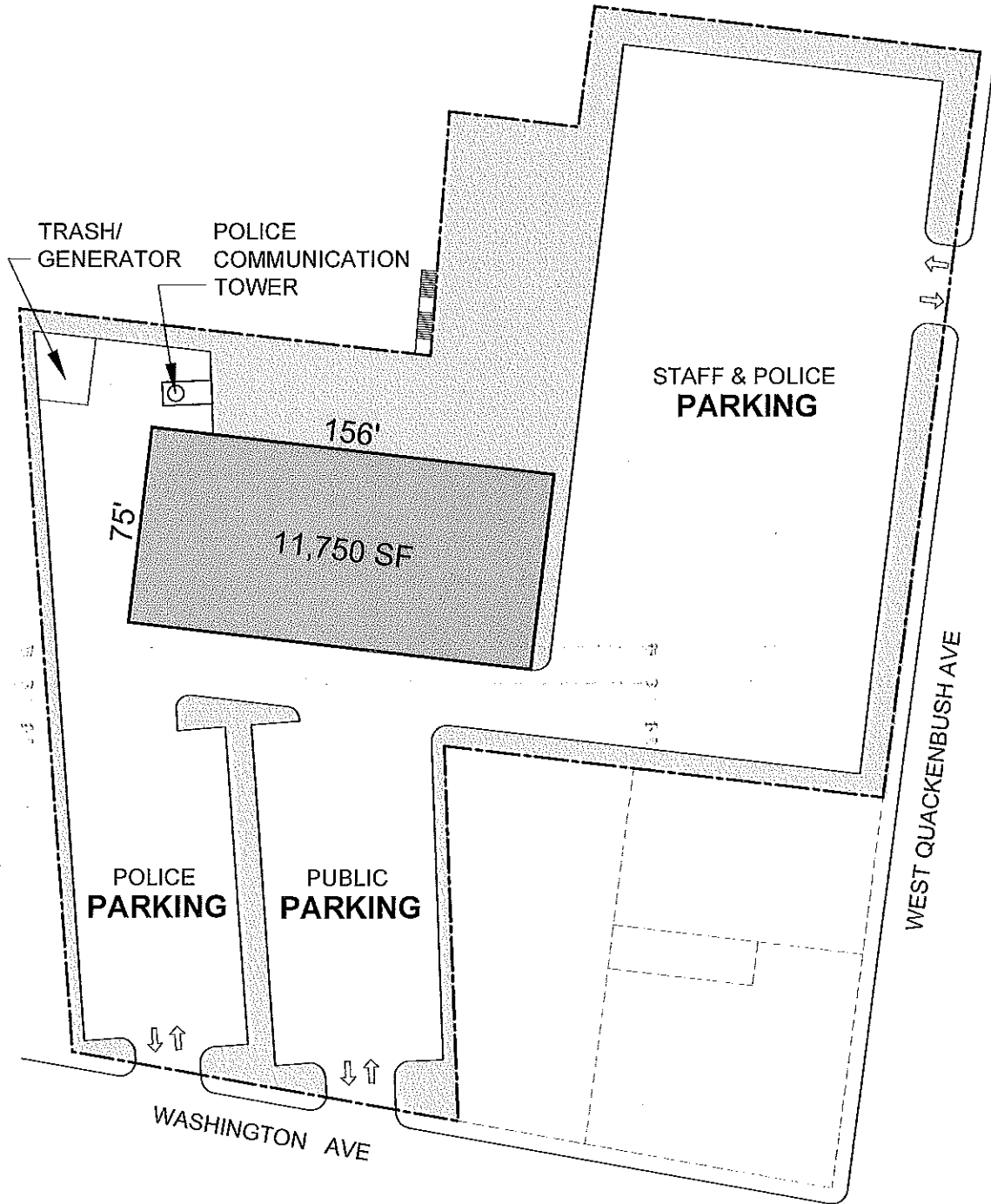
A/E Fees	\$ 729,062
Furniture	\$ 300,000
Bonding Costs	\$ 50,000
Total	\$ 1,079,062

Total Probable Value	\$ 12,295,394
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Notes:

1. These amounts are preliminary in nature and should be treated as such. They are based upon today's dollars without specific escalation to match a particular start date.
2. Demolition allowance includes the municipal building and the buildings at the proposed additional properties. Hazardous materials abatement scope at municipal building and adjacent properties is unknown at the time.
3. The police trailer and relocation costs include actual costs for setup, delivery, utility and communications connections as well as 1 year of trailer rental fees.
4. 'Site Improvements' includes demolition of buildings on adjacent lots proposed to be acquired. Refer to Engineer's description of scope for more information.
5. 'Roof / Misc. Structural' includes selective demolition within the building, new roof and framing, elevator, and miscellaneous structural repairs. Refer to Engineer's description of scope for more information.

0' 25' 75' 225'
SCALE 1/64"=1'-0"



PARKING COUNT:
± 124 SPACES
(100 STAFF & POLICE, 24 PUBLIC)

New Building on Existing Site

	NEW Area (SF)	Rate (\$/SF)	Subtotal	Total
Lower Level	7750	\$250	\$ 1,937,500	
Ground Floor	11750	\$265	\$ 3,113,750	
Second Floor	11750	\$265	\$ 3,113,750	
Subtotals	31250		\$ 8,165,000	
			TOTAL Unique Items	\$ 2,706,980
			TOTAL 'Bricks & Mortar'	\$ 10,871,980

UNIQUE ITEMS

Building Demolition	\$ 350,000
Site Improvements (4)	\$1,186,980
Elevator	\$ 125,000
Utility Service Upgrades	\$ 345,000
Haz Mat'l Abatement	\$ 475,000
Temp police trailers	\$ 225,000
Total	\$2,706,980

SOFT COSTS

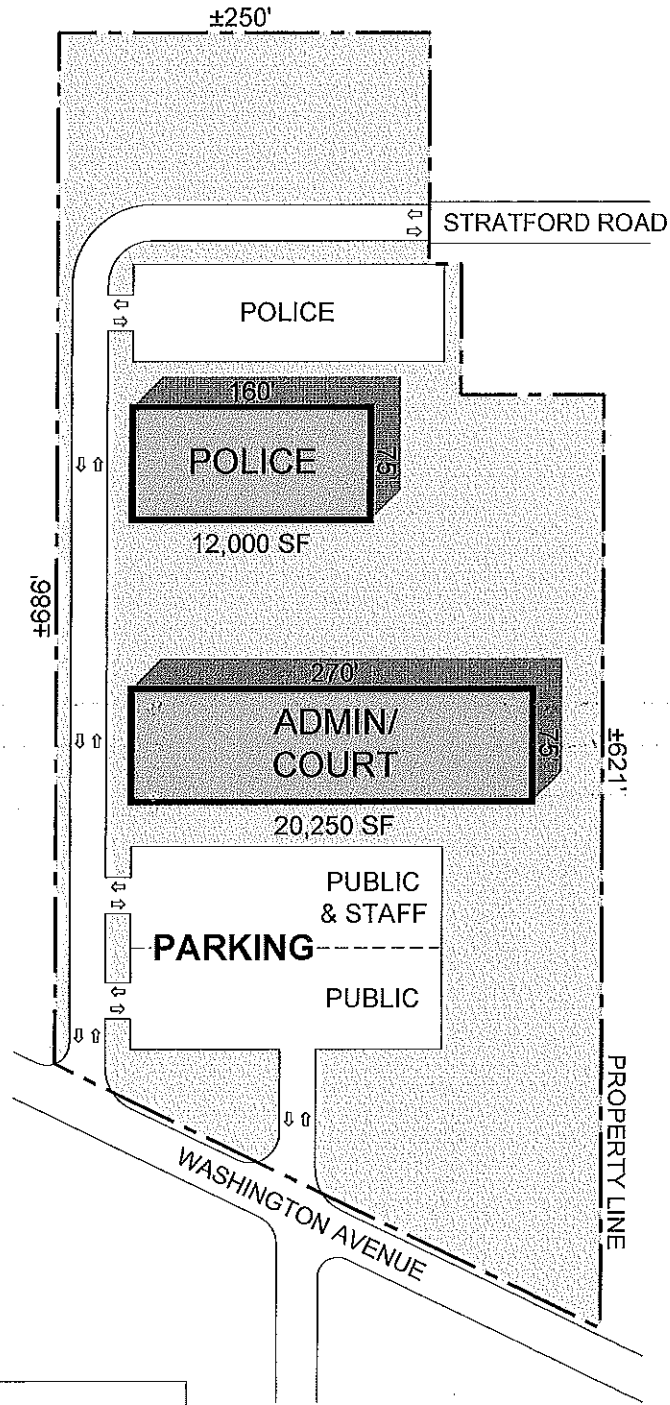
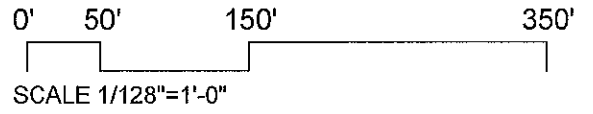
A/E Fees	\$ 706,679
Furniture	\$ 300,000
Bonding Costs	\$ 50,000
Total	\$ 1,056,679

Total Probable Value	\$ 11,928,659
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3. The police trailer and relocation costs include actual costs for setup, delivery, utility and communications connections as well as 1 year of trailer rental fees.
4. 'Site Improvements' includes demolition of buildings on adjacent lots proposed to be acquired. Refer to Engineer's description of scope for more information.





PARKING COUNT:
 ± 115 SPACES
 (75 STAFF & POLICE, 40 PUBLIC)

New Building on New Site - 1 Story

	NEW Area (SF)	Rate (\$/SF)	Subtotal	Total
Police Building	12000	\$280	\$ 3,360,000	
Admin / Court Building	20250	\$280	\$ 5,670,000	
Subtotals	32250		\$ 9,030,000	
			TOTAL Unique Items	\$ 2,139,660
			TOTAL 'Bricks & Mortar'	\$ 11,169,660

UNIQUE ITEMS

Site Improvements (4)	\$1,224,660
Utility Service Upgrades	\$ 440,000
Temp police trailers	\$ 225,000
Roof top Police tower	\$ 250,000
Total	\$2,139,660

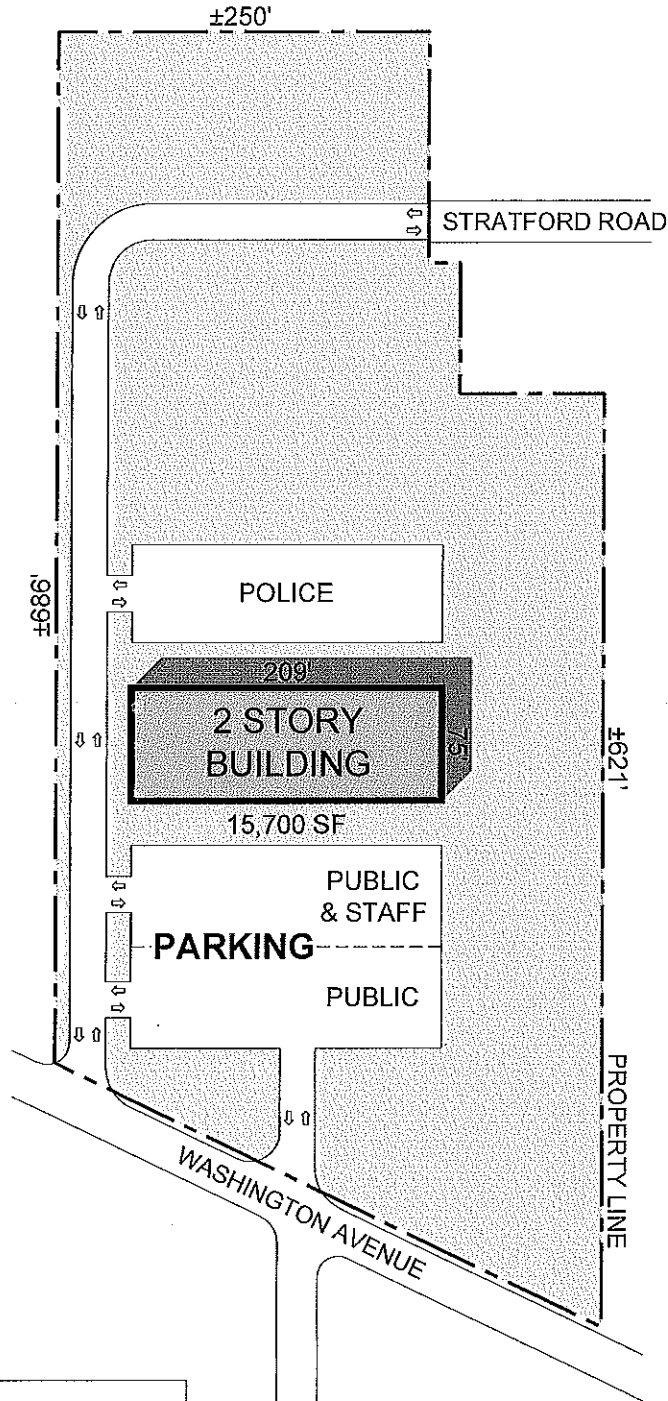
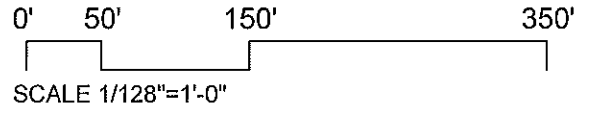
SOFT COSTS

A/E Fees	\$ 726,028
Furniture	\$ 300,000
Bonding Costs	\$ 50,000
Total	\$ 1,076,028

Total Probable Value	\$ 12,245,688
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3. The police trailer and relocation costs include actual costs for setup, delivery, utility and communications connections as well as 1 year of trailer rental fees.
4. 'Site Improvements' includes demolition of buildings on farm property. Refer to Engineer's description of scope for more information.



PARKING COUNT:
± 115 SPACES
(75 STAFF & POLICE, 40 PUBLIC)

New Building on New Site - 2 Story

	NEW Area (SF)	Rate (\$/SF)	Subtotal	Total
Ground Level	15700	\$280	\$ 4,396,000	
Second Floor	15700	\$250	\$ 3,925,000	
Subtotals	31400		\$ 8,321,000	
			TOTAL Unique Items	\$ 2,389,660
			TOTAL 'Bricks & Mortar'	\$ 10,710,660

UNIQUE ITEMS

Site Improvements (4)	\$1,224,660
Elevator	\$ 250,000
Utility Service Upgrades	\$ 440,000
Temp police trailers	\$ 225,000
Roof top Police tower	\$ 250,000
Total	\$2,389,660

SOFT COSTS

A/E Fees	\$ 696,193
Furniture	\$ 300,000
Bonding Costs	\$ 50,000
Total	\$ 1,046,193

Total Probable Value	\$ 11,756,853
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3. The police trailer and relocation costs include actual costs for setup, delivery, utility and communications connections as well as 1 year of trailer rental fees.
4. 'Site Improvements' includes demolition of buildings on farm property. Refer to Engineer's description of scope for more information.